



Planning Request Application

PO Box 254; 100 17th Avenue NW,

Glenwood, MN 56334

Phone: 320-634-5433

Building Inspector: Michael Friedrichs 320-377-9029

Street address of property: _____ Zoning Dist. _____

Legal Description: _____
PID# _____

Property Owner
Name: _____ Phone: _____

Address: _____ City: _____ State: _____ Zip: _____

Type of Request:

Variance Rezoning Conditional Use Permit Plan Review Preliminary Plat Final Plat Other

Description of request _____

If this request is for the construction of a structure, a building permit and drawing must also be submitted.

Existing use _____

Is this a permitted use under the current zoning ordinance __ Yes __ No

Has a variance, conditional use permit, or rezoning been applied for previously __ Yes __ No When _____
If Yes, attach a copy of the conditional use permit, variance, or other document permitting use, or attach an explanation of why the use is permitted.

If and/or when the City is subject to get outside review such as legal, engineering, etc., or there are direct costs for processing the application such as publishing required notices, the costs are billed to the applicant and the applicant, by signing this request agrees to pay such fees.

The undersigned further agrees the City of Glenwood and its administrative staff relied on the accurateness of this application, plans, and specifications relative to this project and holds the City of Glenwood and its employees harmless from all liability arising from the granting of this permit.

Applicant Signature

Date

FOR OFFICE USE ONLY.				
Permit Fee Schedule:				
Permit Fee:	\$ _____	Date Paid:	_____	
Variance Fee:	\$ _____	Request:	_____	
Penalty	\$ _____	<input type="checkbox"/> Approved	Date: _____	
Other	\$ _____	<input type="checkbox"/> Denied		
Total Permit Fee:	\$ _____	Authorized By:	_____	

Planning Commission		City Commission	
Action _____		Action _____	
_____		_____	
Signature	Date	Signature	Date

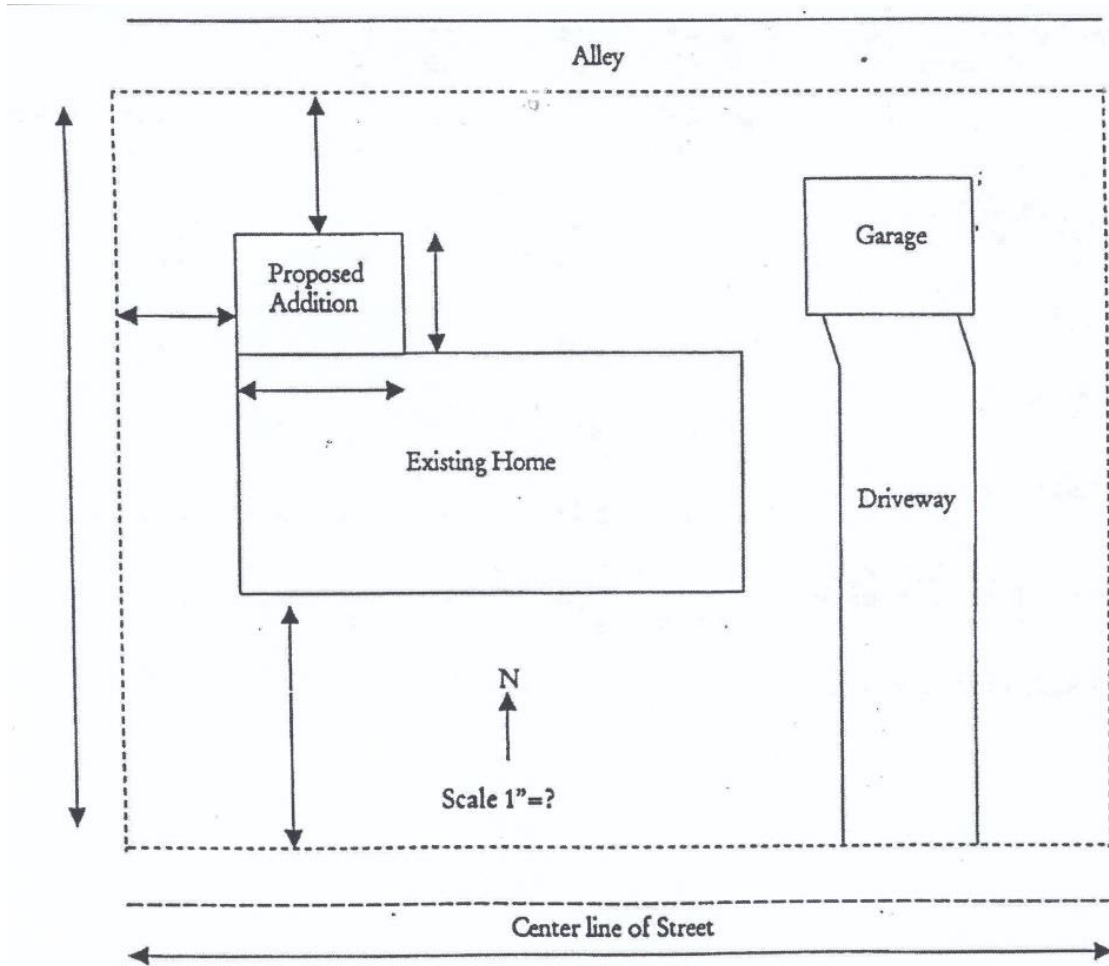
Notice To All Applicants

A site plan is required with all applications. The site plan should include at minimum:

- Lot Dimensions
- All existing uses and structures within 100 feet of the subject property
- All adjacent streets and alleys
- The dimensions of the proposed footprint of the building with ALL setbacks noted (setbacks include; distance from the property lines, streets and alleys, adjacent structures, ordinary high-water mark, etc. and the structure.)
- All setback requirements are measured to the overhang or outer edge of gutters, not the foundation or sidewall of the building
- Height of side wall, measured from the finished floor elevation to the point at which the sidewall top plate adjoins the rafter
- Height of peak, measured from the finished floor elevation to the top of the peak
- Proposed drainage of storm water run-off away from the proposed structure
- Proposed finished floor elevation of structure

Plans do not need to be professionally drawn but should include all of the information requested. The following sample site plan shows the minimum detail expected so the permit process can proceed smoothly.

****SETBACK REQUIREMENTS ARE LISTED ON THE NEXT PAGE****



Lot, Yard and Density Requirements

			Minimum Lot Sizes	Minimum (in Feet)				
			Area (Sq. Ft)	Width	Yard Front	Rear	Side	Site Area (Sq. Ft)
R-1	Suburban Residential							
		*Single Family Dwellings	10,000	75	30	20	6	10,000
		*Two Family Dwellings	15,000	80	30	25	10	7,500
		*Other Uses	15,000	80	30	30	15	7,500
R-2	Urban Residential							
		*Single Family Dwellings	8,000	75	30	20	6	8,000
		*Two Family Dwellings	12,000	80	30	25	10	6,000
		*Townhouses	1,000/unit	25/unit	30	30	15	5,000
		*Multi-Family Dwellings	15,000	100	30	30	15	3,500
		*Other Uses	10,000	100	30	30	15	N/A
R-3	Multiple Residential							
		*Single Family Dwellings	8,000	75	30	20	10	8,000
		*Two Family Dwellings	12,000	80	30	25	15	6,000
		*Townhouses	5,000/unit	25/unit	30	30	15	4,000
		*Multi-Family Dwellings	25,000	100	30	30	15	2,600
		*Other Uses	5,000	50	30	30	15	N/A
B-1	Community Business							
		*Multi-Family Dwellings	5,000	50	0	15	0	2,500
		*Other Uses	5,000	50	0	15	0	N/A
I-1	Industrial							
		All Uses	20,000	100	25	20	10	N/A
C-1	Conservation							
		All Uses	2 acres	300	50	30	30	N/A
A-1	Agricultural							
		All Uses	5 acres	500	50	50	50	N/A
MH-1	Mobile Home Rental Park							
		*Mobile home, Single Family	5,500	55	15	6	6	5,500
		*All Other Uses	10,000	100	30	15	15	10,000
*With City Water & Sewer								